

DESIGN GUIDELINES

FOR THE CITY OF LANCASTER



DOWNTOWN DISTRICT

LANCASTER, TEXAS

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SITE / USE CRITERIA

DESIGN

BACKGROUND

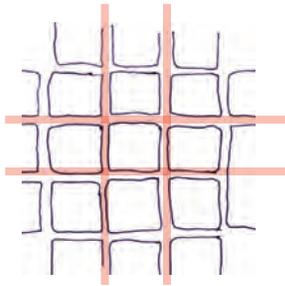
Lancaster was founded in 1852 and incorporated in 1866; it is one of the oldest communities in the Dallas County. The city plan was modeled after Lancaster, Kentucky which was modeled after Lancaster, Pennsylvania. This type of layout is fairly rare (see image below). The revitalization of the Downtown District is a development that will be based on a set of principles which are rudimentary to any successful urban setting. A successful downtown is a healthy environment that is designed and built based on the needs and usage of its habitants.

New Urbanism movement began in the 1980's; it has become more widespread as communities are seeing the advantage of such improvements. Some cities are building such environments from the ground-up and some are revitalizing deserted and depressed parts of their cities. Principles of New Urbanism consist of walk-ability, connectivity, mixed-use density, public transportation and sustainability. With the right relationship between all the components the quality of life is increased with the use of close proximity and density.

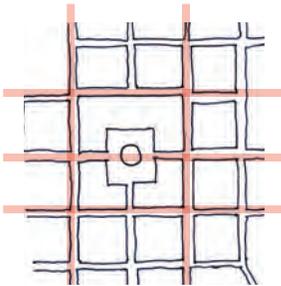
The notion of "New Urbanism" ironically is not so new; cities and towns have always been organized around walk-able street systems with mixed-use programming prior to the domination of the automobile. Villages and towns were placed according to geography and the limits of economic circumstance; for the past sixty years we have pushed the limits and extended our cities beyond their natural radius of sustainability. The strip shopping centers, big box stores, large parking lots, deserted downtowns, rows of one-size-fits-all developer houses, and mega-highway systems connecting sprawls have taken the place of pedestrian paths that connect our lives, pastures and natural resources and the integral influences of our built environment. Now we spend more time in our cars, more money on gas and all the other economic fall backs regarded to the automobile, roads, insurance and etc; we have come to realize that urbanism and integral town planning offers a much more fulfilling lifestyle and more economically sensible. We must accommodate for the automobile and traffic flow, however, we don't necessarily need to build our entire environment according to those standards. We will make more room for the pedestrians and furnish the streets with the right elements in order to create a comfortable environment.

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These guidelines outline the components that equate to quality needed to bring back richness into the neighborhoods which will affect the community as a whole. Across the nation towns and suburbs are creating centers with new town squares; older cities are revitalizing old deserted industrial hubs. Old down-town-like gathering places are being created in-between suburbs in order to reduce the sense of de-centralization due to sprawl. In Lancaster the citizens have a strong sense of place and identify with their heritage; authenticity is at the core of this place and there is no need to re-create anything it simply requires some polishing and implementing the standards.



Typical downtown layout, usually the Town Hall building or a significant building is located in the center of the layout with shops surrounding it.



Downtown Lancaster layout, streets enter into the central core as well as the perimeter.

DEFINITIONS

Articulation -

Block -

Buffer -

Building Envelope -

Building Massing -

Built-to-line -

Detailed Site Plan -

Facade -

Greenbelt -

Plaza -

Promenade -

1.1 INTENT

This Design Guideline is intended to raise the level of quality for all residential, non-residential and mixed-use development; within a regulatory structure offering options and flexibility. Refer to section 1.2 *Applicability*, developments are subject to a set of minimum site and building design standards, recognizing that all new development and some existing, regardless of size, should be subject to minimum standards.

1.2 APPLICABILITY

- 1.2.1 This guideline applies to
- A. All new construction
 - B. Any exterior renovation or alteration
 - C. Any addition to an existing building
 - D. Any existing condition that needs to meet code and requires to be updated
- 1.2.2 Site updates and alterations include not limited to:
- A. Refer to section 1.3.4.E for all site applicability

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1.3 DESIGN REVIEW PROCESS

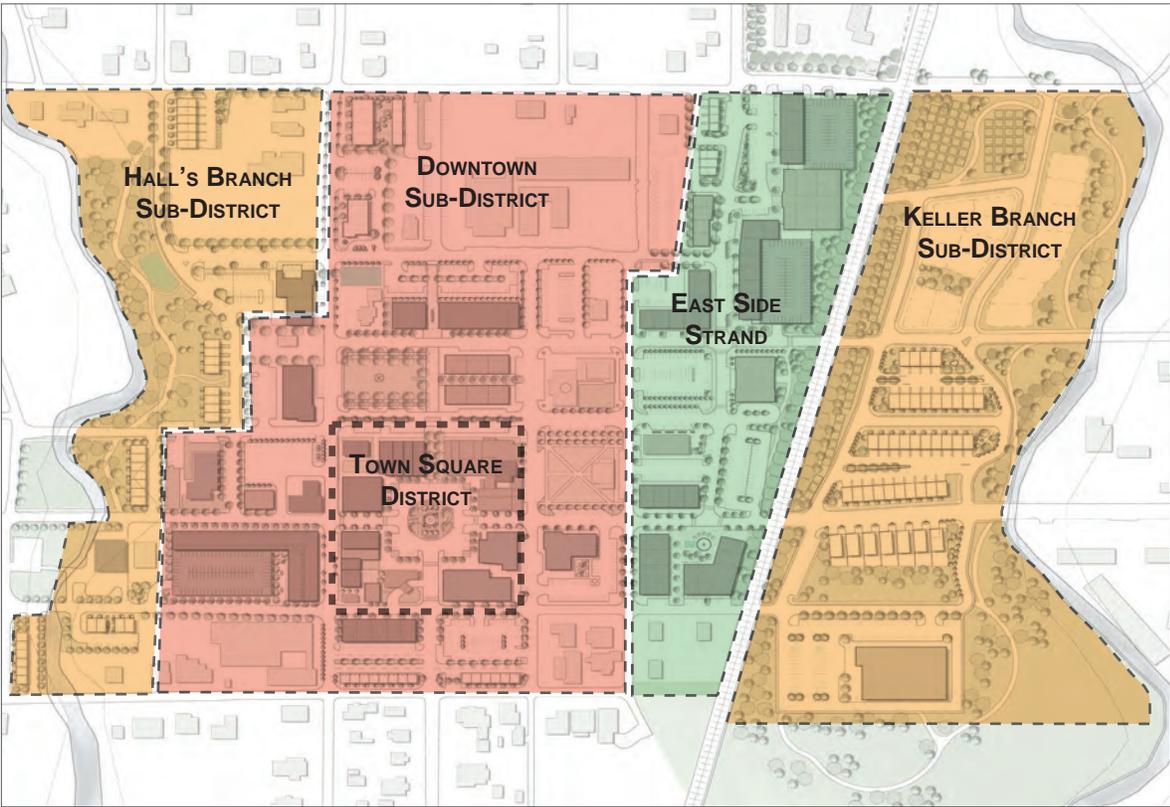
All applicants must submit drawings and documents subject for approval (reference section 1.2 for applicability) to the Design Committee prior to submittal for building permit.

- 1.3.1 Determine applicability [1.2]
- 1.3.2 Determine location of development
District [2.1]
- 1.3.3 Determine type of development allowed in the designated area [2.1]
- 1.3.4 Check "Site Development Guidelines" [2.0, 2.2, 2.3]
- 1.3.5 Check "Design Guidelines" [3.0]

2.0 SITE DEVELOPMENT GUIDELINES

The Site Development Guidelines determine the density, dimension, street appearance and land-use for each district. Downtown Lancaster already has a wide range of land usage, this guideline will enhance the framework which the city has been build upon.

2.1 LAND USE & SETBACK



The districts have been created for design purposes and programming which creates a variety of neighborhood clusters as well as options. The transition between each district should not be an obvious change but a gradual difference due to services which than change the architecture and building layout. Continuity should be the goal within the districts and between them as well. Any time there is a sub-district within a district the guidelines for the sub-district prevail for that area.

Prohibited Uses:

The following uses are explicitly prohibited in the Downtown District, Hall's Branch District, Keller Branch District and East Side Strand, regardless, if said uses are stated as permitted or conditional uses in the underlying districts:

- Wireless Communication Facilities (except for antennas attached to existing building)
- Temporary Asphalt or Concrete Plants
- Rock Crushing
- Mining and Quarrying
- Solid Waste Incinerators
- RV Campgrounds
- Riding Academy or Stable
- Warehouse, Self-service storage
- Welding or Machine Shop
- Vehicle Storage Yard
- Correctional Placement Residence
- Car Wash
- Outdoor Storage
- Commercial Parking area (other than parking lots stated in the guidelines)
- Pawnshop
- Outdoor Vehicle & Equipment Sales
- Recycling Processing Center
- Tattooing & Body Piercing Facility
- Manufacturing
- Warehousing
- Gas and Fuel Storage and Sales
- Oil or Gas Drilling
- Vehicle Repair, General
- Medical Services within a "B - Multifamily" District
- Single-Family Dwelling (other than areas designated for this use *Keller Branch District under special conditions)

2.1.1 Town Square Sub-District ■



232,190 sf (5.32 acres)

The Town Square Sub-district is the core of downtown and the location of City Hall facilities. Roughly seventy percent of the original Town Square still remains with the new part being built in such a manner that blends the new and the old most effectively. It is recommended that City Hall occupy the southeast corner to complete the square as well to set a hierarchical height in building structure. This will aid in creating an iconic element within the core of the downtown area.

All sides of the square should be treated as frontal storefronts and not “back of house”.

Resurfacing of the entire area is highly recommended. Reconstruction of the center piece with the well being the focal point is necessary. The diameter of the roundabout should extend out to create two clearly marked lanes, as a one-way traffic and parking only on the perimeter.

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Land Use / Size Limitations:

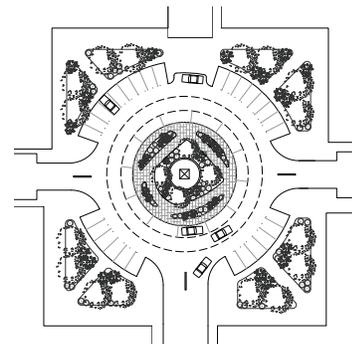
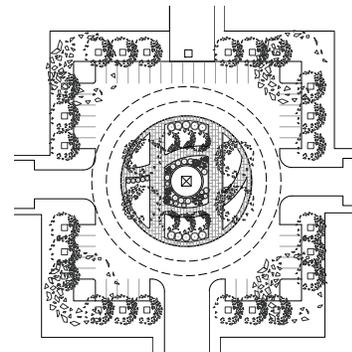
Mixed-use

- Retail with Residence above
- Retail with Office above
- Office / Services

| | |
|---------------------|----------------------------------|
| Retail | 8,000 sf maximum [single tenant] |
| Restaurant | 5,000 sf maximum |
| Residential | |
| Condominium | 1,200 sf minimum |
| Efficiency / Studio | 1,000 sf minimum |
| Office | no maximum |

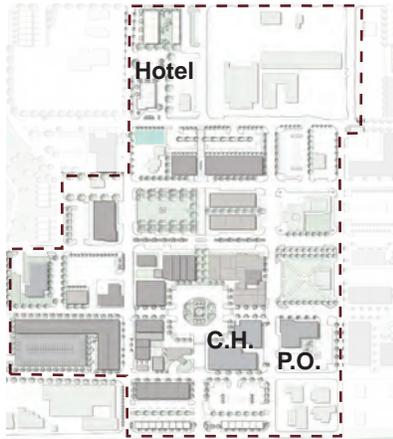
Site Setbacks:

Mixed-Use, Retail, Restaurant:
30' maximum or Match existing setback



ROUNDABOUT OPTIONS

2.1.2 Downtown District ■



1,390,700 sf (31.9 acres)

This area is mostly retail and mixed-use. It is generally 70% of the downtown district; and designated to public use. There are many opportunities in this area for mixed-use with residential or office above, public plaza for events and public service buildings. The post office and City Hall should be located in a central vicinity with clear access from main roads. A large portion of this area is occupied by the Baptist Church of Christ to the immediate north. The southern most edge of Downtown District sits single-family residence. Single-family residence also occupies the perimeter of the area. A transition zone is recommended for any low-density to high-density setting. Along Dallas Ave is the ideal location for a unique small scale hotel that marks the corner of the shopping area. There are many opportunities for a full service post office within the entire area, one recommendation is immediately to the east of the Town Square next to City Hall recommended location on Main Street.

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Land Use / Size Limitations:

Mixed-Use

- Retail / Restaurant with Residence above
- Retail / Restaurant with Office above

Retail / Services

- Boutique Hotel
- Post Office
- Single story Retail Service

Town Homes / Condominium / Studio

| | |
|---------------------|---|
| Retail | 10,000 sf maximum [single tenant] |
| Restaurant | 7,000 sf maximum |
| Residential | |
| Condominium | 1,600 sf minimum [multi-story] - 50% use in Downtown District |
| Town home | 1,200 sf minimum [multi-story] - 25% use in Downtown District |
| Efficiency / Studio | 1,000 sf minimum - 25% use in Downtown District |
| Office | no maximum |
| Hotel | 20,600 sf maximum [10 rooms maximum] |

Site Setbacks:

Mixed-Use, Retail, Restaurant:

- 30' maximum provided parking in front
- 15' maximum without parking in front

Residential:

12' minimum, 30' maximum

Hotel:

- 35' with drop-off
- 20' maximum without drop-off

2.1.3 Hall's Branch Sub-District ■



718,700 sf (16.5 acres)

Along Hall's Branch Creek is best suited for higher density residential and public paths for recreation use. This will add to ambiance of the down town area creating the amenities of a larger foot print in a fairly small setting, all within walking distance. It is crucial to segment the large city blocks in this area (refer to Master Plan Book Chapter 2, sect. 2). The majority of the Hall's Branch District is suited for residential in the form of town homes / condominiums. These units are positioned looking onto the creek with open preserved green space and along the side streets that run into the downtown core. Retail and Mixed-Use in this area is to be minimum and only at the eastern most edge to transition into the Downtown District along Dallas Ave.

Land Use / Size Limitations:

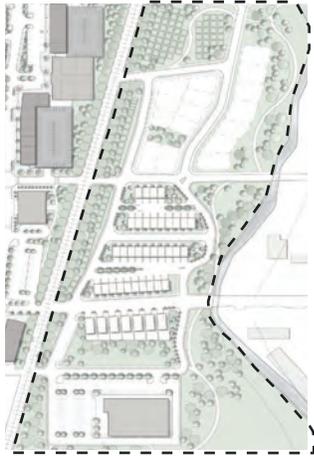
- Town Homes / Condominium
- Mixed-Use
 - Retail with Residence above
- Preserve Open Land

| | |
|---------------------|--|
| Retail | 10,000 sf maximum [single tenant] only along Dallas Ave |
| Restaurant | 5,000 sf maximum |
| Residential | |
| Condominium | 1,600 sf minimum [multi-story] - 40% use in Hall's Branch District |
| Town home | 1,400 sf minimum [multi-story] - 40% use in Hall's Branch District |
| Efficiency / Studio | 1,000 sf minimum - 20% use in Hall's Branch District |
| Open Space | 25% minimum - public space along Hall's Branch Creek |

Site Setbacks:

- Mixed-Use, Retail, Restaurant:
 - 30' maximum on Dallas Ave provided parking in front
 - 15' maximum on Dallas Ave without parking in front
- Residential:
 - 15' minimum, 30' maximum
 - (For units facing Hall's Branch Creek measure setback from back of unit)
 - No habitable space on 100 year flood plain, units may be elevated above flood plain

2.1.4 Keller Branch Sub-District ■



1,081,360 sf (24.8 acres)

Similar to Hall's Branch District, Keller Branch District is mainly residential with more exclusivity. The goal for this district is to create options for different types of housing with close proximity to downtown. Keller Branch Creek defines the edge of this neighborhood with trails and access along the length of the creek for public use.

BNSF tracks divides this neighborhood from downtown area, this can be an advantage to the residence of this location who want the close proximity to the core, yet with a more private setting. A buffer zone is highly recommended along both sides of the tracks. Along the residence side a minimum of two rows of wide canopy trees and a setback of minimum of 50' between the road and the outer edge of tracks. This buffer zone (recommended at 70') is also ideal for gardens and neighborhood activity to crop locally.

There are about 16 plats available for single-family residence with special conditions. This is intended to be reserved for an architectural competition (locally or nationally). This can be a high-profile competition for an Arts and Craft Style and Modern Prairie Style with specific restrictions. This would raise awareness and create a good quality control for types of homes being built in the area.

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Retail services and any type of light or regular industrial use is highly rejected; in order to preserve the land, environment and reduce unnecessary traffic to the neighborhoods. This area is currently zoned LI, we are recommending a rezoning for the entire area and further north in order to benefit the Downtown district indirectly. Due to the logistic hub a few miles north, it is essential to set boundaries for areas that may be affected indirectly in the future and irreversible.

Land Use / Size Limitations:

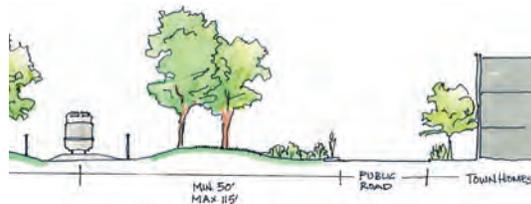
- Town Homes / Condominium
- Single-Family (special condition)
- Community Garden
- Preserve Open Land

Residential

- Condominium 2,500 sf minimum [multi-story] - 40% use in Hall's Branch District
- Town home 2,000 sf minimum [multi-story] - 40% use in Hall's Branch District
- Single-Family 2,000 minimum [special conditions set by City]
- Open Space 40% minimum - public space along Hall's Branch Creek and BNSF
- Community Gardens 10'x20' or 20'x20' each plat

Site Setbacks:

- Residential: 15' minimum, 25' maximum
- No habitable space on 100 year flood plain
- Community Gardens 30' minimum from center-line of rail road tracks
- 10' minimum from edge of curb



2.1.5 East Side Strand Sub-District ■



660,000 sf (15.1 acres)

The ES Strand stretches from north to south of the entire development site and alongside the BNSF tracks. The second major road to the site is Jefferson Street and is located in this district.

The goal for this area is to provide larger footprint amenities with parking garage located behind the buildings. A buffer zone is highly recommended along both sides of the tracks. A minimum of two rows of wide canopy trees and a minimum of 55' setback from the center-line of tracks. Berms are also recommended, for areas with no structure between street and tracks for example a surface parking or back of buildings that set back from the tracks more than two lines of trees. There should only be access roads for service within 100' of tracks, all other roads shall be setback from center-line of tracks a minimum of 170'.

Land Use / Size Limitations:

anchors

- Cinema 4-8 screen
- Single footprint Store
- Restaurants

Live-Work

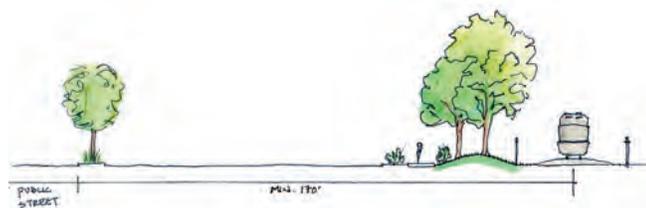
Mixed-Use

- Service with Residence above
- Service with Office above

Parking Garages (attached)

Open Space / Plaza

Town Homes / Condominium



Retail / Service

21,000 sf maximum [single tenant with maximum square footage be located east of Jefferson Street]

Restaurant

10,000 sf maximum

Live-Work

500 sf maximum [service on ground level]

1,200 sf minimum [residence above]

Residential

Condominium

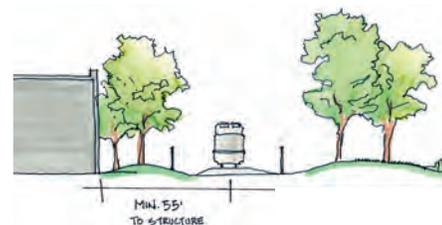
1,500 sf minimum [multi-story]

Town home

1,100 sf minimum [multi-story]

Efficiency / Studio

1,000 sf minimum



Site Setbacks:

Residential

15' minimum, 25' maximum

Retail/Mixed-Use/Services

20' minimum, 30' maximum with parking in front, 115' maximum with two rows of parking in front [this may only occur for maximum of 45% of retail and/or mixed-use development]

2.1.6 Setback Restrictions

Setback restrictions apply to all districts. Building features or architectural attachments to the primary building facade may encroach up to 5 feet from the building face into the setback area. These features include, but are not limited to:

- Awnings
- Balconies
- Bay windows
- Chimneys
- Canopies
- Eaves
- Planters
- Porches
- Signage
- Patio dining
- Pilasters
- Retail displays
- Stoops
- Tower elements

2.2 PARKING

2.2.1 Parking Requirements

The purpose of creating parking requirements is to make sure the adequate needs are met and to ensure that the parking areas are not the dominant features of the development. It is also essential to reduce pollution and land development impacts especially for single occupancy cars. A recommendation to share parking between larger entities such as the Baptist Church of Christ and the surrounding smaller shops; the East Side Strand and its surrounding smaller shops. The parking garages are to serve the surrounding needs as well as the immediate. It is essential for the downtown to maintain the intimacy of the small town scale, while it is important to provide visitors with convenient parking locations, it is also estimated that many locals will visit by foot, bike or in groups (from our survey).

| | |
|-----------|---|
| Residence | 1 space per Room (not to exceed 2 spaces) |
| Retail | 1 space per 300 sf |
| Office | 1 space per 350 sf |
| Hotel | 1 space per Room |
| Other | Refer to Development Code for City of Lancaster |

Parking is allowed to occur underneath the building, however, this type of parking may not exceed above requirements and may not be located on a street face. Landscape screening is also required to screen the parking from all adjacent uses and streets. All surface parking lots shall be screened by miniature trees or mature trees. It is recommended that parking lot surfaces be constructed of permeable material to maintain drainage and run-off.

All roads are to be paved with curbs and proper drainage, no parking or driveways shall be made of unpaved roads.

2.2.2 Parking Garage

Parking garages may not be visible from streets on more than two (2) sides of each block. Whenever possible parking garage should be designed to hide the longer facade with development such as town houses, offices, live-work, lofts and/or retail in order to screen the garage from the street view. The visible facade of the parking garage shall be screened [refer to section 2.3.4].

2.2.2 Off-street Parking

To maintain visual standard all off-street parking space shall have a tree canopy for every 5 spaces. Landscape may protrude out next to the parking space or located in front of parking space within the setback [refer to section 2.3.3]. No more than 15% of required parking shall be located off-street.

Refer to Lancaster Development Code for any specifics not covered in this guideline.

2.3 STREET GUIDELINES

2.3.1 Street Guidelines

Street guidelines are intended to enhance the appearance of the streetscape, ensure safety and comfort for inhabitants. This section applies to all the districts, unless otherwise noted.

2.3.2 Pedestrian Paths

An improved access and mobility benefits pedestrians on a personal level ; the increase of exercise and by enjoying the ambiance of pedestrian-friendly streets. A safe and accessible pedestrian movement is critical to establishing livable communities. Bringing pedestrian movement into the community reaps the benefits in several ways: reduction in traffic congestion and air pollution; global warming gases, and energy consumption; quieter streets; safer environment; and healthier economic conditions for local merchants. Our surveys indicated that in conjunction with other means of transportation (car, bike or public transportation) 90% prefer to experience the downtown area by walking. Therefore, during the design process of roadways, walkways and transitions it is critical to consider the needs and identify areas to improve safety for pedestrians and persons with physical challenges.

Ideal pedestrian paths should be between 6 feet and 12 feet. Wider sidewalk should occur in front of businesses or areas where the space for activities is needed. Grades that meet ADA provisions and local codes are important to accommodate all users.

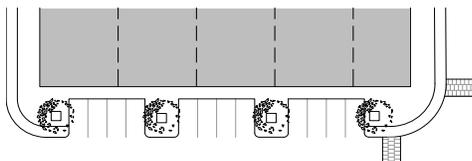
Unpaved smooth shoulders two to four feet in width should be provided where feasible for pedestrians and runners. The shoulders provide a softer running and walking surface, increase capacity of the path where needed. The use of sidewalks as bicycle facilities should not be encouraged especially as a bike route.

2.3.3 Landscape

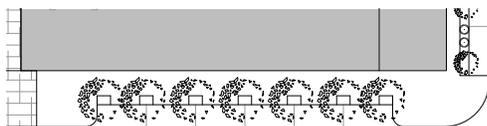
Landscape should be used to enhance the city's streetscape along with providing shade for pedestrians and bicyclist as a continuous design element. Landscaping for shared-use paths should generally be low water with native species. Selecting species that require minimal maintenance and less debris is an important consideration.

Trees trunks are recommended to be located in a minimum of four (4) feet width bed [preferably 6 feet]. This to ensure that the tree does not cause future pavement damage from root intrusion. All beds should have edging to keep a clean appearance and maintain overgrowth into the sidewalk.

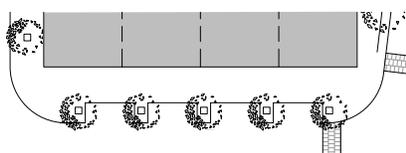
When development is placed next to an existing historic single-family residence a line of trees [15 feet apart for trees, 6 feet apart for medium size hedges] or high hedges needs to be planted as a screening element along the property line.



OFF-STREET PARKING WITHIN SETBACK

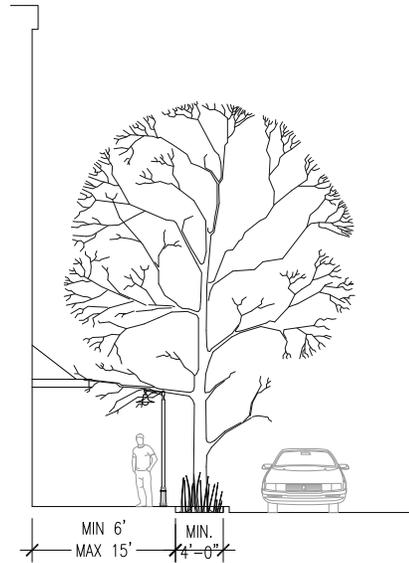


OFF-STREET PARKING WITHIN SETBACK - PARALLEL PARKING

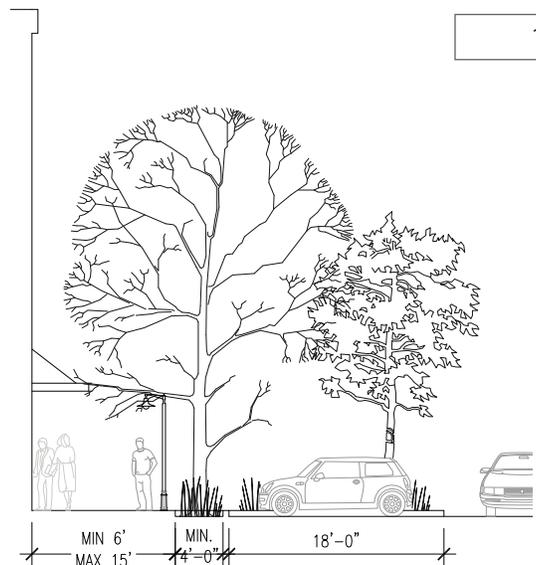


OFF-STREET PARKING WITHIN SETBACK - PARALLEL PARKING

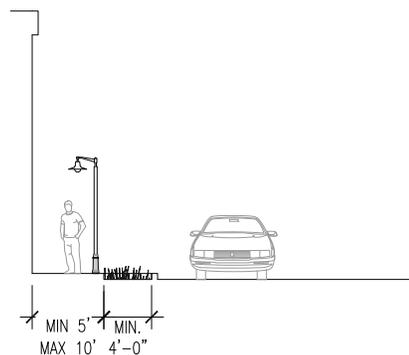
Trees along major streets should be at an average spacing not greater than 30 feet on center, or up to 60 feet on center if parallel or head-in parking. Town house developments should require a tree for every unit, tree should be placed with other native plants as a front yard element facing the main street. Dallas Avenue and Jefferson Street are the two major access roads in and out of the site, both streets should be lined with continuous trees, planters and or shrubs.



OPTION A



OPTION B



OPTION C

Guidelines for Roads:

Dallas Avenue
Jefferson Street
Main Street
1st Avenue

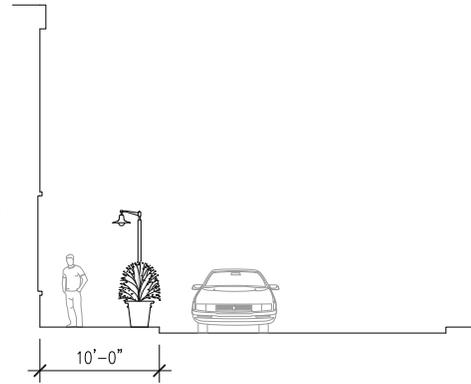
35% of roadside (area between curb and setback) should consist of the following landscape:

- 60% Trees
 - of which 70% evergreens
 - of which 50% large canopy trees
- 20% Native plants or shrubs
 - of which 70% evergreens
- 20% Other or grass

All other roads in the District:

20% of roadside (area between curb and setback) should consist of the following landscape:

- 50% Trees
 - of which 70% evergreens
 - of which 50% large canopy trees
- 20% Native plants or shrubs
 - of which 70% evergreens
- 30% Other or grass



OPTION D



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GOOD EXAMPLE OF UTILIZING SIDEWALKS WITH MINIMUM PLANTING SPACE



STREET PLANTER AND SHADED AREA FOR RESTING, WHICH WILL BE LIT WHEN DARK

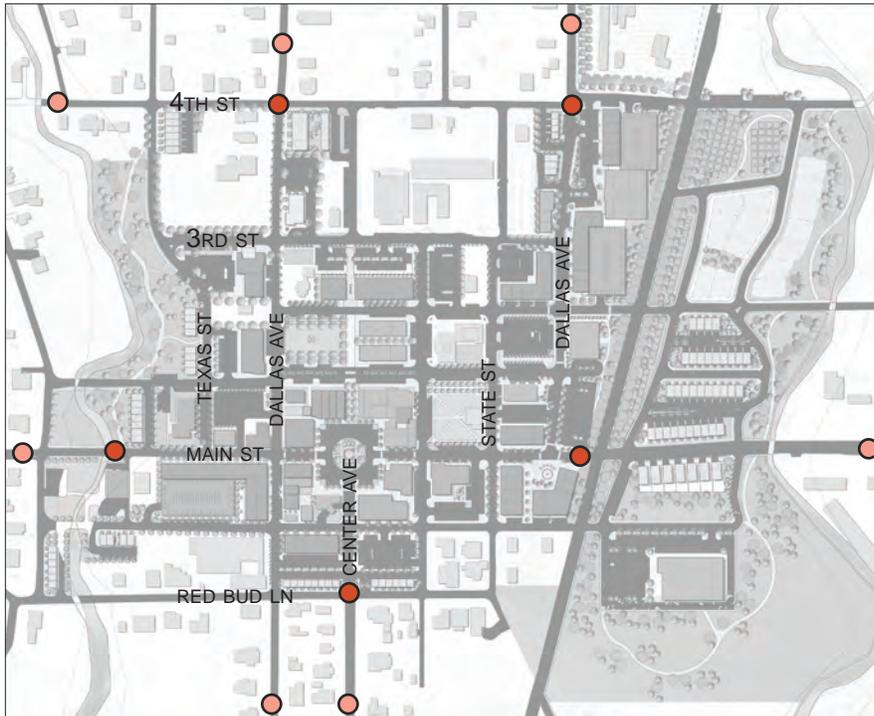


TREE AND STREET LAMPS SHOULD BE IN LINE IN ORDER NOT TO CREATE CLUTTER, WHEREVER POSSIBLE

2.3.4 Signage

Types of Signs required:

- Threshold / Entry designation
- Way-finding
 - Into Downtown District and all other Sub-District locations
 - Trail system for pedestrians and bikers
- Historic markers
- Street Signs



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It is recommended that all street signage (including traffic signs) be a standardized and of the same style, this will create a cohesive street environment. All historic buildings shall be marked with an emblem visible to the public



Historic Residence within the downtown district should have a consistent numbering plate of substantial material with sufficient lighting in the dark.

2.3.5 Screening & Buffering elements

Elements that need to be screened:

- 100 % Utility [on the ground and above buildings]
- 60% Service areas for businesses [maintained and clean]
- 100% Dumpsters [must be screened on all visible sides by masonry wall with access doors]
- 100% Train tracks [lined with two rows of trees and berms where ever possible and low fence]
- 75% Parking garages [non-invasive plants, trees and/or low reflective screen]
- 60% Surface Parking lots [trees, shrubs or low wall]



Fencing should be kept to a minimum when possible, if due activity or program fencing is required we recommend the use of the following:

- Ornate iron fence
- Aluminum fence
- Wood fence (well maintained)
- Picket fence
- Board on board

The following is not accepted:

- Barbed wire fence
- Chicken wire fence
- Electric fence
- Chain link fence [may be used for construction sites on a temporary basis with advertisement of the project or signage screening the fence itself]



EXAMPLE IRON AND WOOD COMBINATION



EXAMPLE ALUMINIUM FENCE

2.3.6 Lighting

All public roadways should be well lit for automobile and pedestrian use. Pedestrian-scale lighting should be considered to avoid glare that is associated to large-scale street lamps. Lighting is critical for pedestrian safety at intersections, mid-block crossing points and along sidewalks. At intersections and mid-block street crossings, overhead illumination should be considered so pedestrians in crosswalks are visible. Blocks that are larger than downtown city blocks should place lamps at 80 feet on center. Directional lighting should not be excessive and no lighting towards the sky in order to avoid light pollution, no spot-lighting, except when lighting a flagpole or a specific object. When flood-lighting a facade it should remain consistent without hot spots.

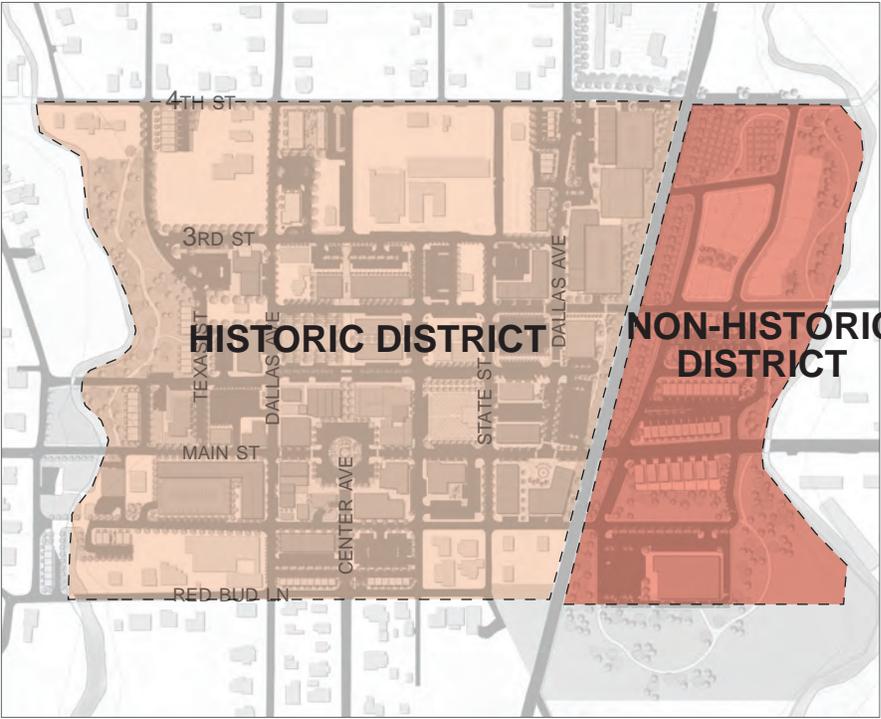
Road lights and pedestrian lights should be consistent in style with the signage poles and traffic signage.



3.0 BUILDING DESIGN GUIDELINES

The intent is to set a standard for building mass, height, dimensions, opacity, material, and openings. These design guidelines will enhance the overall appearance of the district, although, all the buildings will not look the same it is a means to sustain continuity in the architectural environment.

3.1 SITE MAP



Sub-Districts rule over Districts outline.

3.2 HISTORIC DISTRICT

3.2.1 Historic District

The architecture in the downtown district ranges from homes built in 1890's, 1920's and some 1950's. The style of all these are significantly diverse; they are from different time periods and were influence by a variety of people arriving to settle.

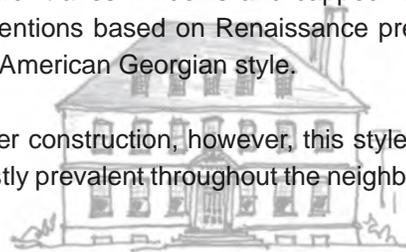
There exist over ten historic American house styles. Some vary drastically and some have a few different articulations. Most historic style architecture within the last century has been a revivalism of some sort from the past 500 years and on. In combination with a lot of these types are more modern styles, which in our eyes are still vernacular type structures, but for their setting they were progressive. Various styles emerge as a result of challenging and diversifying the previous style of architecture. Inevitably there has always been new versions and additive to the previous style.

The historic buildings that exist in the downtown district are explained below with their original intent and time period when the specific styles were flourished. Many styles came about due to conditions of the climate, material availability and external influence. Today we can build freely and resemble any style and often the architect will allow for modern interpretation in the design so that the needs of the site's climate are met and so that newer building technology is taken into account to benefit the project. In addition to that people's needs are different in terms of program and size, which in effect changes proportions and influences the style. In this process the authenticity of the historic style is often lost, however, it is not feasible for us to build with the same methods that these historic structures were built.

American Georgian also referred to as Colonial Revival

This was and still is widespread in the Eastern coast of America. Proliferation of this style flooded the northern, middle and southern colonies from 1715 – 1780. Characteristics of this style include a strict symmetry, aligned windows, accented panel doors, molded architraves windows and capped with classical crown molding or cornices. The acceptance of conventions based on Renaissance precedents including the classical order was a characteristic of the American Georgian style.

Some reminisce of the Classical order is apparent in the newer construction; however, this style of architecture is not in line with the historic Texas style that is mostly prevalent throughout the neighborhoods.



Tudor (Neo-Tudor or Tudor Revival) 1890 - 1930

This style has been misnamed and mis-characterized. There are actually three different styles that are usually mistaken for Tudor Revival. It was originated by Henry Tudor (Henry VIII) than followed by his daughter Elizabeth who died in 1603 which ended the Tudor line. Jacobean followed suit and has been mistaken for Tudor. All three have much in common. Tudor is mainly stucco or masonry, Elizabethan known for half-timbered structures and Jacobean for masonry with Dutch or Flemish gables. Tudor Revival characteristics are the oriel windows, parapet gables, large windows with details of stone with the Tudor arch.

CLYDE MCCURDY _ 1914



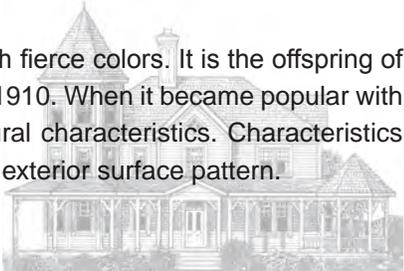
Craftsman Style, Bungalow type, Arts and Crafts Style

This is the newer of all the styles originally from India (Bangla = house) a rural type house. The original bungalow had one story, few rooms and cross ventilation, the overhangs and verandas help deal with the direct sun and reduce the heat. This style became popular in Southern California in the late 1800's and took a different shape from there. This did not form from a revival order of architecture yet a type of building based on functionality and assembly, the bungalow, which is not a style but a type of building was prefabricated as early as 1908 with pre-cut boards and timbers.

A similar style that was articulated well was the Prairie also developed in the early 1900's by Frank Lloyd Wright echoing the Midwestern prairie type low-horizontal homes with an eastern flair in articulation.

Victorian Queen Anne Style

Victorian Style also called Queen Anne style is fairly elaborate with fierce colors. It is the offspring of the Arts and Crafts movement that evolved in England from 1880-1910. When it became popular with mail-in order it was stripped of some of its elaborative architectural characteristics. Characteristics consist of half-timbering, assertive chimneys, varied but cohesive exterior surface pattern.



3.2.2 Design Guidelines

We recommend Texas vernacular for the commercial buildings that occupy the Historic District. Any of the above mentioned styles are sufficient for town houses, condominiums, hotel, City Hall and single-family residence. These buildings are individual structures which entails the styles mentioned above, while the mixed-use and retail buildings along the streets are to be continuous and would require a different typology of building structure.



EXAMPLE OF FACADE ELEVATION

Commercial buildings - 75% of the frontage should be dedicated to the business on the ground level. The remaining shall be dedicated to lobby or entrance to facilities on the upper levels. Signage for each business must be located within their designated area.

Each ground-floor commercial space must have a customer entrance that opens directly onto the sidewalk; a glazing height of not less than 10 feet, measured from the finished floor to the bottom of mullion and a maximum of 15 feet glazing dedicated to the ground level.

Glazing on the ground floor should be minimum 60% and maximum of 90% with enough visibility for merchandize. Display windows must be maintained; for retail they should be used as display cases and not windows into retails spaces.

Window on the upper levels should not be spaced more than 6 feet apart. Above the ground level all windows shall be operable windows and inset from the building face 6 inches minimum. Vertical bays between B1 and B2 should not be more than 12 feet in height, see elevation (previous page).

Height - To ensure vertical consistency all buildings should be
24 feet minimum
35 feet maximum, with the following exception(s)
City Hall - 45 feet maximum height, not including tower element if applicable

Maximum building length in any direction shall not exceed 350 feet. Buildings shall reinforce and pronounce corner condition at street intersections that occupy commercial use. Corner clips and other design approaches that do not form an orthogonal corner shall be considered as well as height change in the corner.

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Parapets concealing flat roofs and rooftop equipment from public view is encouraged. Parapets shall feature three dimensional cornice treatments.

Canopy should be placed above entrance for all ground level commercial buildings. The bottom of all canopies should be one of the following:

- 10 feet (minimum) above finish grade
- 12 feet above finish grade
- 12 feet - 10 inches above finish grade

Overhanging canopies shall not extend more than 7 feet out the face of the building. Canopies should be metal material with a slope enough for water drainage and attached to the building by means of cable tension.
8 inches minimum and 14 inches maximum canopy thickness



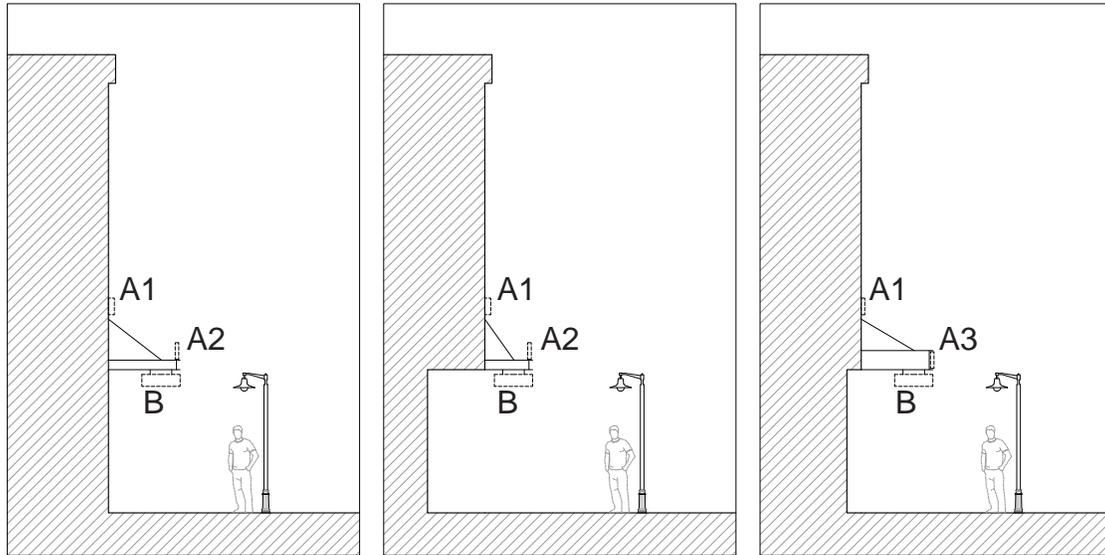
NOT A GOOD EXAMPLE OF CORNER BUILDING



A GOOD EXAMPLE OF CORNER BUILDING

Signage shall be located:

- A1 Above canopy on face of building
- A2 On canopy face
- A3 On canopy face [signage font can not extend outside of canopy bottom or top, 10 inches minimum in order to apply text, 14 inches maximum.
- B Hung from the bottom of canopy, bottom of sign can not be less than 8 feet 10 inches (8'-10") from finish floor



Signage letters shall be 4 inches thick minimum and 10 inches thick maximum. Letters may directly mount flush with canopy/ ledge or be attached with stand-offs. Lighting must be provided for all type A signage. Exterior signage shall be internally illuminated channel letters. Methods of lighting may include but not be limited to:

- Halo illumination
- Illuminated surface
- Back-lit

Exposed neon tubes shall not be permitted, all exterior signage must withstand weather conditions. Signs may be controlled by time-clock and stay lit while business is in operation. All lamps must be fully concealed within letters and not visible from any location accessible to the public. All transformers and electrical hardware shall be concealed and not visible to the public.

Materials used in the historic district shall consist of

- Masonry (brick, stone, slate) 55% minimum / 70% maximum
- Glazing 30% minimum / 45% maximum

Optional

- Stucco for accents (External Insulated Finish System Prohibited) 10% maximum
- Split-wood frame residential use only
- Metal articulations

Prohibited cladding materials:

- Smooth, unfinished or no textured concrete masonry units or concrete walls
- Natural or simulated wood siding
- Vinyl or plastic siding
- Wood roof shingles
- Reflective glass
- Metal siding without an architectural finish
- Architectural foam detailing
- EIFS (for the first three building stories)
- Un-fired or under-fired clay, brick or other masonry product

Use of brick is recommended for most of the commercial buildings, use of other masonry may be used for accenting. Use of brick can be used in various ways to accent with itself by indenting, rotating and change of color.

3.3 NON-HISTORIC DISTRICT

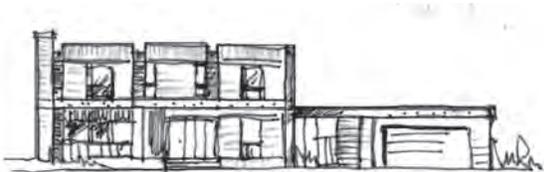
3.3.1 Non-Historic District Guidelines

All of Keller’s Branch District lays in the Non-Historic District which is separated by the BNSF tracks from downtown. This is great opportunity for the city to bring something new and different to the area in order to attract a variety of people to the site. We recommend the residence to be build on interpretations of some of the historic styles, so that there are some consistencies within the whole district.

Height - To ensure vertical consistency all buildings should be

- 35 feet maximum for single-family
- 30 feet minimum for town houses and condominiums
- 42 feet maximum height town houses and condominiums

Maximum building length in any direction shall not exceed 200 feet. Buildings shall consist of breaks along the facade. It is recommended and each town house be articulated individually.



Parapets concealing flat roofs and rooftop equipment from public view is encouraged.

Overhanging canopies shall not extend more than 7 feet out the face of the building into the setback

Materials used in the historic district shall consist of
Masonry (brick, stone, slate) 55% minimum / 70% maximum
Glazing 30% minimum / 45% maximum

Optional
Stucco for accents (External Insulated Finish System Prohibited) 10% maximum
Split-wood frame residential use only
Metal articulations

Prohibited cladding materials:
Vinyl or plastic siding
Wood roof shingles
Reflective glass
Architectural foam detailing
EIFS (for the first three building stories)
Un-fired or under-fired clay, brick or other masonry product

It is recommended for this area to be unique and experimental with it's architectural style.

